

DESIGN ADJUSTMENT APPLICATION

DESIGN ADJUSTMENT COMMITTEE REVIEW



City of Wilmington
Planning and Development

PO Box 1810 | 929 N Front St.
Wilmington, NC 28401
Telephone 910.254.0900

- Subdivision Design Building Design & Materials Technical Standards & Specifications

All projects that require a design adjustment must submit a *Design Adjustment Application*. Design adjustments allow for deviations from the subdivision design standards, building design and material standards, or *Technical Standards and Specifications Manual*. Design adjustments will be heard by the Design Adjustment Committee (DAC) at a quasi-judicial hearing (Section 18-603). Following the DAC decision, construction plans may be submitted via the standard Formal TRC Review process. An application for a design adjustment must be submitted at the time of application for a preliminary subdivision plan or formal site plan review. Application packages must include the following:

- Design Adjustments Application & Fee (\$500.00)
- Design Adjustment Narrative (standard, requested adjustment, justification)
- Mailing Fee for Notification of Adjacent Property owners
 - o An invoice will be emailed for the mailing fee at a cost of \$0.85 per notice. Payment must be made within 5 business days of the invoice.

Project Information

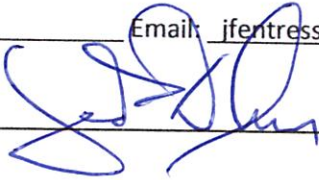
Project Name: CAPE FEAR SOLAR SYSTEMS
Location: 901 S. FRONT ST, WILMINGTON, NC 28401
Acreage: 2.6AC 1945 Corporate Limits: Yes No
Current Zoning: UMX Proposed Zoning: No change proposed
Contributing Structure On-site/Demolished: Yes No Year of Demolition: N/A
Current Land Use: OFFICE/WAREHOUSE Proposed Land Use: Mixed Use Residential

Owner Information

Owner(s)' Name: JOHN DONOGHUE
Address: 901 S. FRONT ST., WILMINGTON, NC 28401
Phone: 910-409-5533 Email: john@CapeFearSolarSystems.com

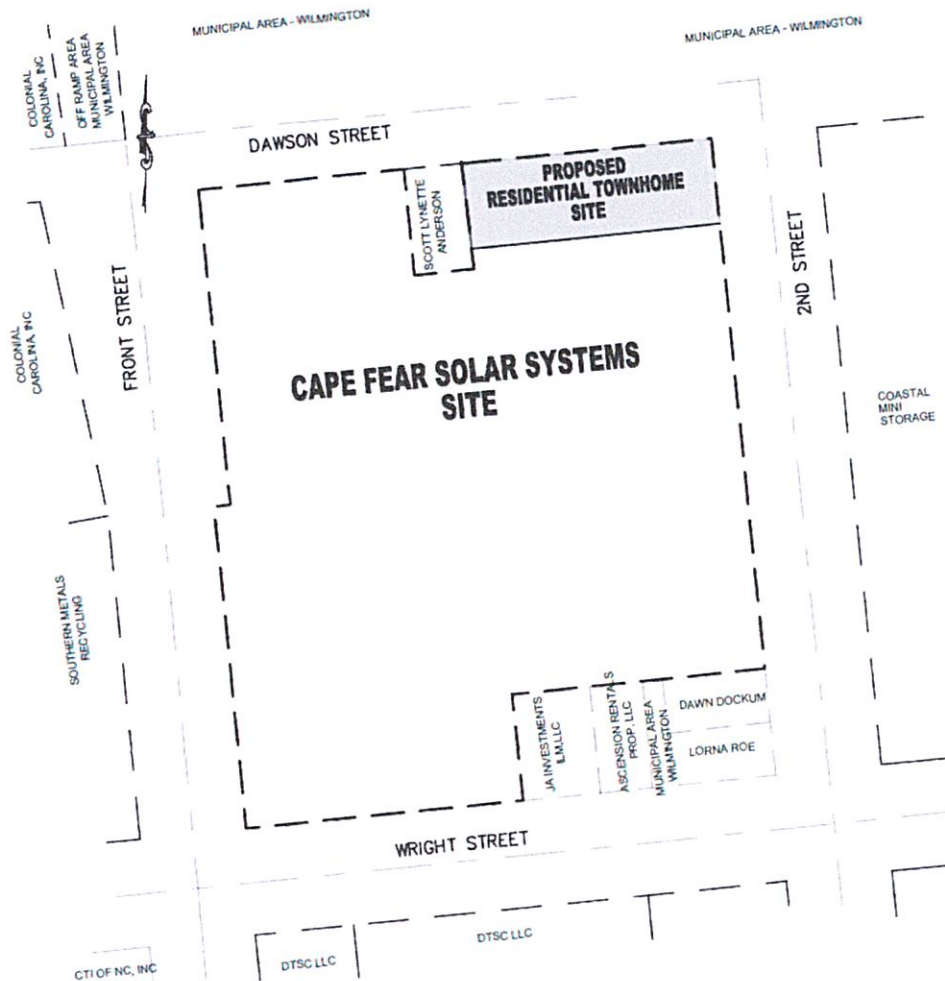
Consultant/Agent Information

Consultant/Agent Name: STROUD ENGINEERING, PA
Address: 102 - D CINEMA DR., WILMINGTON, NC 28403
Phone: 910-815-0775 Email: jfentress@stroudengineer.com

Owner Authorization:  Date: 25 Sep 2024

CAPE FEAR SOLAR ADJACENT PROPERTY OWNER LIST - (REVISED 9/20/2024)

NAME	SITE ADDRESS	ADDRESS	TAX PARCEL #
CITY OF WILMINGTON	201 WRIGHT ST.	WILMINGTON, NC 28401	R05413-003-001-000
ASCENSION RENTAL PROP LLC	115 WRIGHT ST	WILMINGTON, NC 28401	R05413-002-006-000
COASTAL MINI STORAGE	203 WRIGHT ST.	WILMINGTON, NC 28401	R05413-003-001-000
COLONIAL CAROLINA INC.	900 FRONT ST.	WILMINGTON, NC 28401	R05409-030-001-000
CTI OF NORTH CAROLINA INC	1000 S. FRONT ST.	WILMINGTON, NC 28401	R05413-016-006-000
DAWN DOCKUM	922 S. 2 ND . ST.	WILMINGTON, NC 28401	R05413-002-008-000
DTCS, LLC	1017 S. FRONT ST.	WILMINGTON, NC 28401	R05413-015-005-000
DTCS, LLC	1014 S. 2ND ST.	WILMINGTON, NC 28401	R05413-015-014-001
JA INVESTMENTS ILM, LLC	113 WRIGHT ST	WILMINGTON, NC 28401	R05413-002-005-000
LORNA ROE	926 S. 2 ND . ST.	WILMINGTON, NC 28401	R05413-002-007-000
MUNICIPAL AREA WILM.	WRIGHT ST	WILMINGTON, NC 28401	NA
SCOTT LYNETTE ANDERSON	108 DAWSON ST.	WILMINGTON, NC 28401	R05409-031-006-000
SOUTHERN METALS RECYCLING	13 WRIGHT ST.	WILMINGTON, NC 28401	R05413-001-001-000





STROUD ENGINEERING, P. A.

CONSULTING ENGINEERS
102D CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
WWW.STROUDENGINEER.COM
LICENSE NO. C-0647

September 19, 2024

City of Wilmington Development Services
Attn: Patrick Mahoney
929 N. Front St.
Wilmington, NC 28401

RE: Cape Fear Solar Phase 2
Design Adjustment Narrative

Dear Patrick,

The plan presented as Cape Fear Solar Phase 2 shows the addition of a single building on the eastern and high side of the Dawson Street road frontage. The building will be divided into ten townhome units proposed as rental housing. The townhome building is well oriented for solar power generation. It is intended that these will be served power supply exclusively from the Cape Fear Solar campus solar generator. Pursuant our recent Pre TRC meeting and the review comments discussed therein, we have reviewed the plan to assess compliance with the Technical Standards noted and wish to provide relevant response as highlighted below:

City of Wilmington Technical Standards

Chapter VII Traffic Engineering, Section C.1.c.1. In no case may the total width of all driveways for any individual property exceed fifty (50) percent of the total property frontage along the same street, measured along the property line. Our Preliminary Plan reported a frontage along Dawson that was not reflective of the additional property, lot, purchased and incorporated into the overall project boundary. The actual frontage is two hundred and eighty-three feet, based on two frontages, and the total driveway width at the right of way line is ninety-seven feet. This standard is honored by the attached plan which now reports the correct frontage length adjacent the frontage proposed for driveways.

City of Wilmington Technical Standards

Chapter VII Traffic Engineering, Section C.1.c.10. No driveway curb return or edge of driveway apron at its intersection with the roadway shall be allowed within twenty-six (26) feet of the point of intersection of the street property lines at an intersection or street corner. The first driveway is proposed thirteen feet from the right of way intersection. Dawson Street is a one block road in this location. The Memorial Bridge off ramp occupies what would have been Dawson's continuation with that to the east as shown on the 1945 limits map. This results in the portion of

Dawson Street adjacent to his project to being a local road serving primarily only the adjacent block. There is very little traffic on this stretch of road that was built as a collector, three lanes wide. The driveway traffic will be mitigated by the finished pavement's excess width. The street side parking that has historically served this block will be prohibited along the immediate frontage allowing for additional room on the road. Were the driveway sited so as to provide twenty-six feet to the intersection there may be a tendency for visitors to use as a parking space. The thirteen feet provided should be too constraining for such consideration.

City of Wilmington Standard Details

Standard Detail SD 3-03.1 Residential Driveway Plan (Vertical Curb) There was no mention of any required deviation from this standard however when revising the plan to address the review comments it becomes apparent that the standard residential driveway will not work as the required five feet tapers overlap. On this basis, we are requesting the Committee consider allowing the use of a prior standard that does not have tapers. This is the type of driveways that were used for other residences in the neighborhood.

I hope this to suffice for the narrative required to accompany this application that we can be heard on the next available meeting. Let me know if there is anything else necessary to proceed.

Thank You,
James H Fentress Jr.
James H Fentress Jr. PE, PLS

attachments

JHF/jf

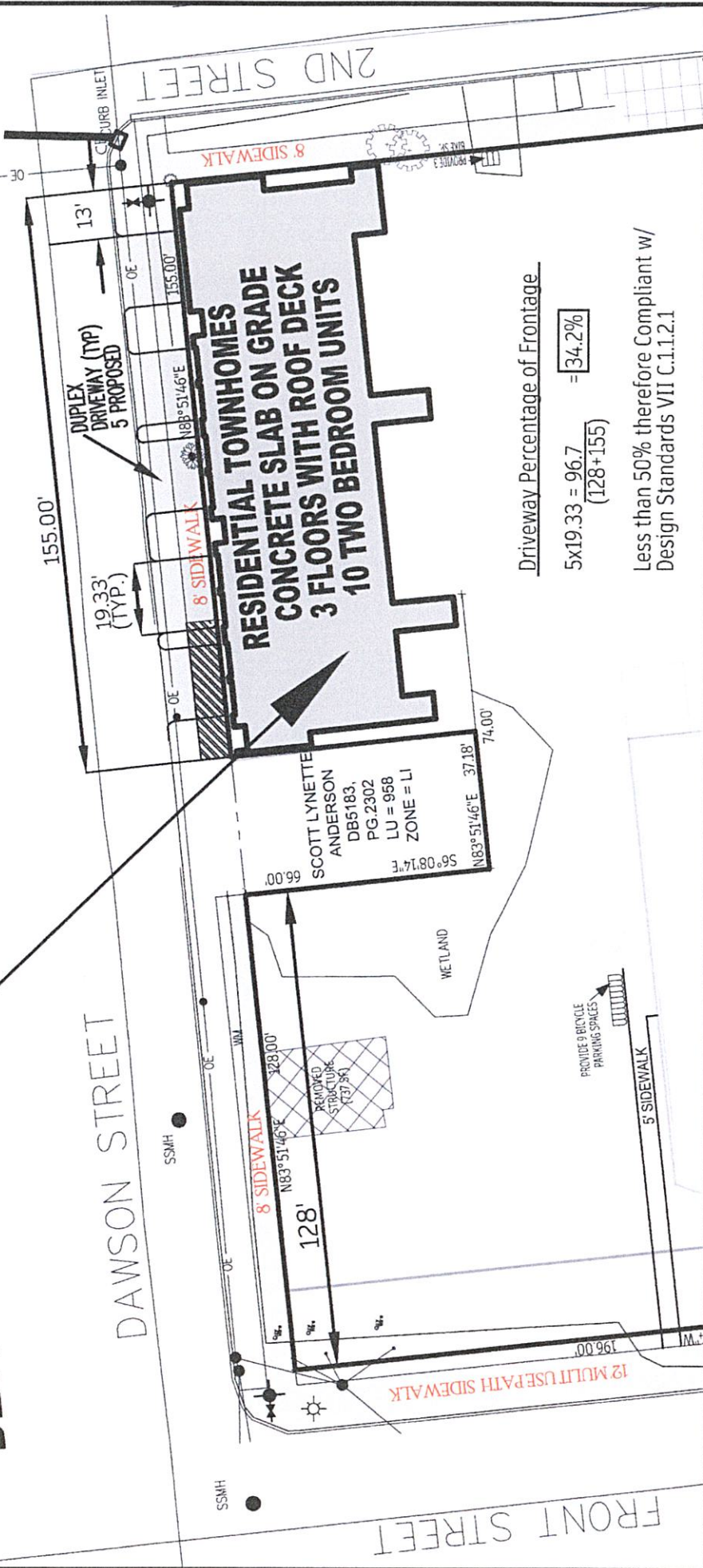
File:W:\MASTER\PW-1328\CITY OF WILMINGTON TRC\DAC APPLICATION NARRATIVE.DOC

107B COMMERCE STREET
GREENVILLE, NORTH CAROLINA 27858
252.756.9352

102D CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
910.815.0775

3302C BRIDGES STREET
MOREHEAD CITY, NORTH CAROLINA 28557
252.247.7479

PHASE 2 RESIDENTIAL DEVELOPMENT



Driveway Percentage of Frontage
 $5 \times 19.33 = 96.7$
 (128 + 155)
 = 34.2%

Less than 50% therefore Compliant w/
 Design Standards VII C.1.1.2.1

Design Adjustment Exhibit

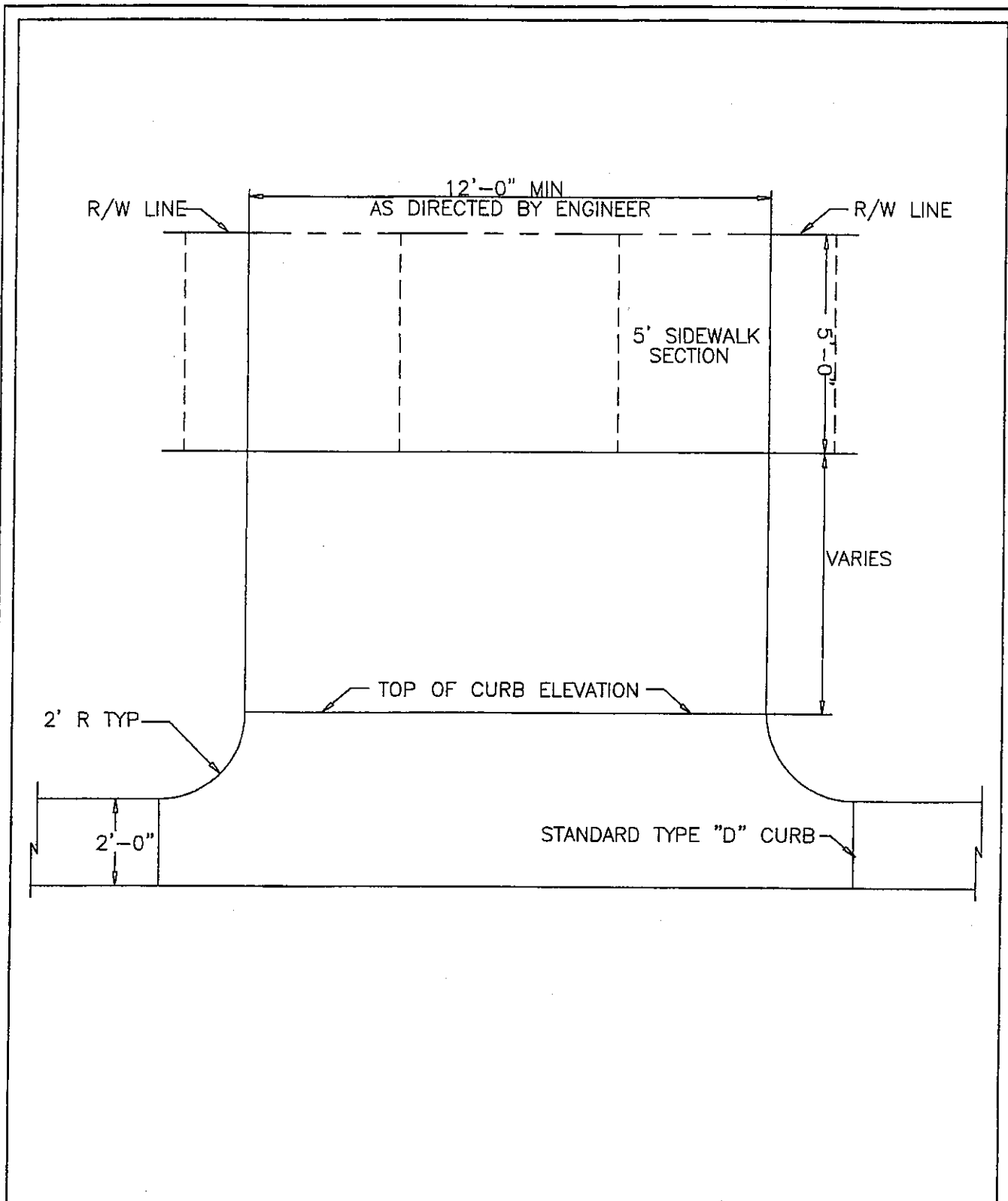
Cape Fear Solar Systems

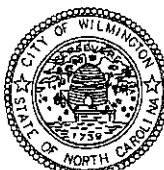
STROUD ENGINEERING, P.A.
 102-D CINEMA DRIVE
 WILMINGTON, NC 28403
 (910) 815-0775
 C-0647

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
 DATE: 09/19/24
 SCALE: 1" = 30'

GRAPHIC SCALE: 1" = 40'

40 20 0 20 40 80



STANDARD DETAIL		CITY OF WILMINGTON ENGINEERING OFFICE 305 CHESTNUT STREET PO. BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807		
DATE:	2001			TYPICAL DRIVEWAY WITH TYPE "D" CURB
DRAWN BY	JSR/CMR			
CHECKED BY	B.P., P.E.			
SCALE	NOT TO SCALE	SD 8-06		